

8-17-23

Life by Design
 architecture
 6324 robinson road
 lockport, new york
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 cadahlke@lbdarchitecture.com

charles a dahlke, r.a.
 registered architect

DESIGNER:

REVISIONS:

DATE: AUGUST 17, 2023

SHEET 1 OF 4

PROJECT LOCATION:
 355 SOUTH MAIN STREET
 ALBION, NEW YORK

CLIENT NAME:
 REALTEGIC

PROJECT TITLE:
 APARTMENT CONVERSION

CONTENTS ON SHEET:
 SITE PLAN

designs to build your life on

residential * commercial * church design

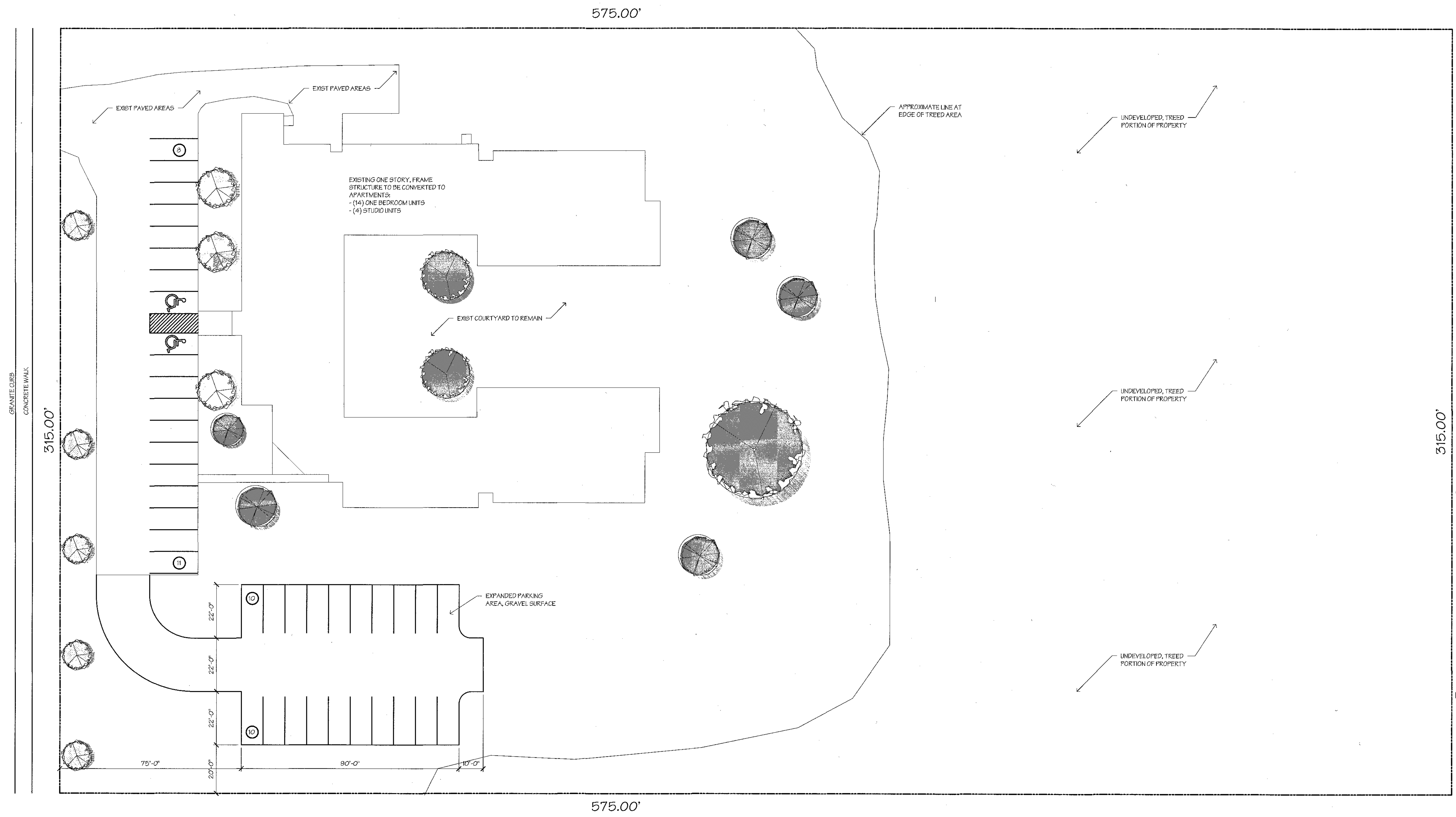
DRAWING NUMBER:
C-1

23-000

SITE NOTES:

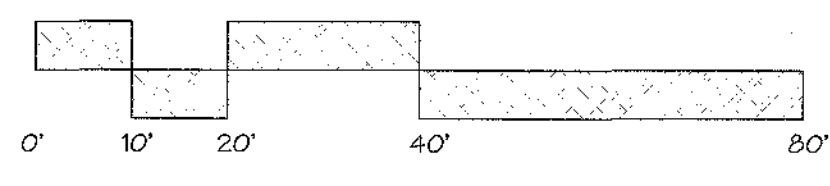
1. ALL LANDSCAPING ELEMENTS SHOWN ARE EXISTING TO REMAIN
2. EXISTING PAVED AREAS SHALL REMAIN AS IS WITH ONLY NECESSARY REPAIRS SCHEDULED TO BE PERFORMED
3. BUILDING IS EXISTING TO REMAIN
4. STORM WATER MANAGEMENT SYSTEMS ARE EXISTING AND SHALL REMAIN AS IS WITH ONLY NECESSARY REPAIRS OR MAINTENANCE SCHEDULED TO BE PERFORMED
5. ALL WALKWAYS ARE EXISTING TO REMAIN
6. THE EXISTING PAVED PARKING ARE WILL ALLOW FOR (18) PARKING SPACES, WITH (2) BEING ACCESSIBLE
7. ADDITIONAL PARKING IS PROVIDED TO THE SOUTH SIDE OF THE EXISTING BUILDING. THIS AREA SHALL BE GRAVEL PARKING AND PROVIDES AN ADDITIONAL (20) PARKING SPACES FOR TENANTS OF THE BUILDING
8. ALL UTILITIES COMING ONTO THE PROPERTY ARE EXISTING TO REMAIN

SOUTH MAIN STREET
 (48.50' WIDE)

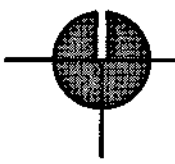


SITE PLAN

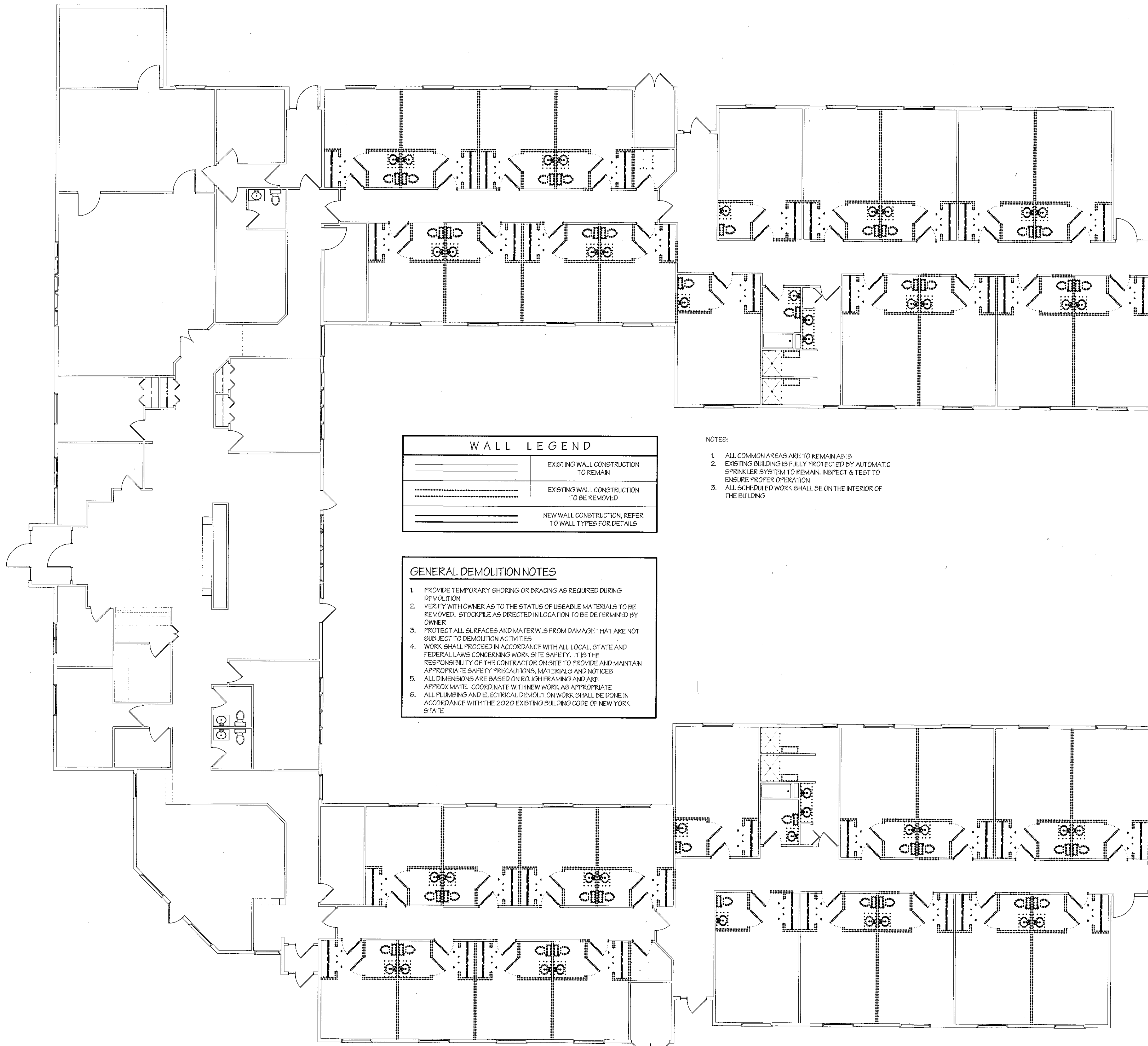
SCALE: 1" = 20'-0"



1



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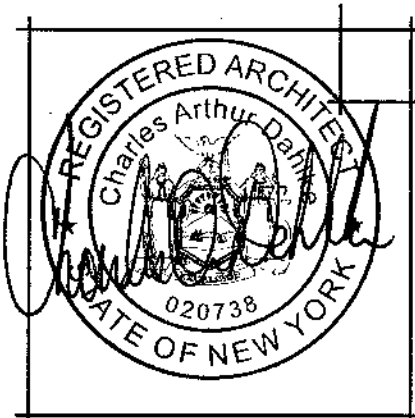
WALL LEGEND	
	EXISTING WALL CONSTRUCTION TO REMAIN
	EXISTING WALL CONSTRUCTION TO BE REMOVED
	NEW WALL CONSTRUCTION, REFER TO WALL TYPES FOR DETAILS

- NOTES:
1. ALL COMMON AREAS ARE TO REMAIN AS IS
 2. EXISTING BUILDING IS FULLY PROTECTED BY AUTOMATIC SPRINKLER SYSTEM TO REMAIN. INSPECT & TEST TO ENSURE PROPER OPERATION
 3. ALL SCHEDULED WORK SHALL BE ON THE INTERIOR OF THE BUILDING

- GENERAL DEMOLITION NOTES
1. PROVIDE TEMPORARY SHORING OR BRACING AS REQUIRED DURING DEMOLITION
 2. VERIFY WITH OWNER AS TO THE STATUS OF USEABLE MATERIALS TO BE REMOVED. STOCKPILE AS DIRECTED IN LOCATION TO BE DETERMINED BY OWNER
 3. PROTECT ALL SURFACES AND MATERIALS FROM DAMAGE THAT ARE NOT SUBJECT TO DEMOLITION ACTIVITIES
 4. WORK SHALL PROCEED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL LAWS CONCERNING WORK SITE SAFETY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR ON SITE TO PROVIDE AND MAINTAIN APPROPRIATE SAFETY PRECAUTIONS, MATERIALS AND NOTICES
 5. ALL DIMENSIONS ARE BASED ON ROUGH FRAMING AND ARE APPROXIMATE. COORDINATE WITH NEW WORK AS APPROPRIATE
 6. ALL PLUMBING AND ELECTRICAL DEMOLITION WORK SHALL BE DONE IN ACCORDANCE WITH THE 2020 EXISTING BUILDING CODE OF NEW YORK STATE

DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

1



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SHEET 2 OF 4

designs / to build your life on

PROJECT LOCATION:
355 SOUTHMAN STREET
ALBION, NEW YORK

CLIENT NAME:
REALTEGIC

PROJECT TITLE:
CLOVERHILL APARTMENT CONVERSION

PROJECT TYPE:
residential • commercial • church design

CONTENTS ON SHEET:
DEMOLITION PLAN

Life

DRAWING NUMBER:
D-1

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GENERAL & STRUCTURAL NOTES

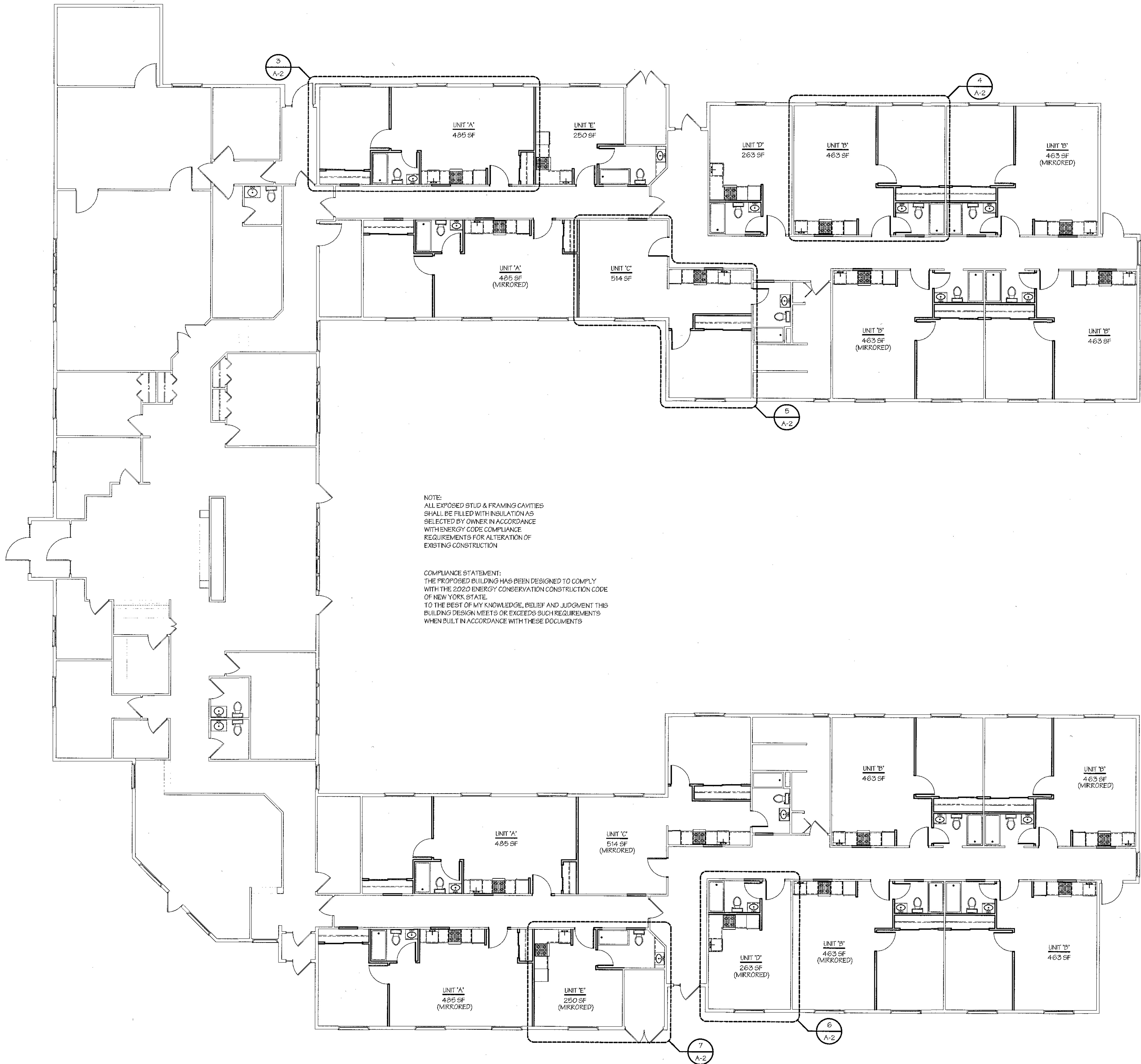
- OCCUPANCY CLASSIFICATION: R-2, RESIDENTIAL, APARTMENTS
- CONSTRUCTION CLASSIFICATION: TYPE VB
- SCOPE OF WORK IS CLASSIFIED AS LEVEL 2 ALTERATION AND IS IN COMPLIANCE W/ CHAPTERS 7 & 8 OF THE 2020 EXISTING BUILDING CODE OF NEW YORK STATE
- DESIGN IS BASED ON THE 2020 EXISTING BUILDING CODE OF NEW YORK STATE
- ALL DIMENSIONS ARE TO FACE OF STUD, POST LOCATIONS, ACTUAL FACE OF MASONRY OR CONCRETE AS APPLICABLE & CENTERLINE OF OPENINGS UNLESS OTHERWISE NOTED.
- EXTERIOR WALLS ARE EXISTING. TYPICAL INTERIOR WALLS ARE 2x4 STUDS. INTERIOR PLUMBING WALLS ARE 2x6 STUDS
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF ALL LOCAL, STATE AND FEDERAL CODES. LOCAL, STATE AND FEDERAL CODES ARE TO TAKE PRECEDENCE OVER THE DRAWINGS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND COMPLYING WITH APPLICABLE CODES AND ORDINANCES, AND FOR NOTIFYING GOVERNING BODIES FOR APPROPRIATE INSPECTIONS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND DETAILS ON THESE DRAWINGS PRIOR TO CONSTRUCTION AND IMMEDIATELY REPORT ANY DISCREPANCIES TO THE ARCHITECT. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH FABRICATION OR CONSTRUCTION.
- ALL HVAC AND ELECTRICAL WORK IS NOT INCLUDED IN THIS SET OF DOCUMENTS AND IS TO BE DESIGNED BY OTHERS. ELECTRICAL SYSTEM SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, NFPA 70-17.
- THE LOCATION OF ITEMS SUCH AS FURNACE, WATER HEATER, VENTS AND FLUE, OTHER MECHANICAL SYSTEMS, SUMP CROCKS, UTILITY SERVICES AND OTHER ITEMS WILL BE DETERMINED BY THE CONTRACTOR.

WALL LEGEND

	EXISTING WALL CONSTRUCTION TO REMAIN
	EXISTING WALL CONSTRUCTION TO BE REMOVED
	NEW WALL CONSTRUCTION, REFER TO WALL TYPES FOR DETAILS

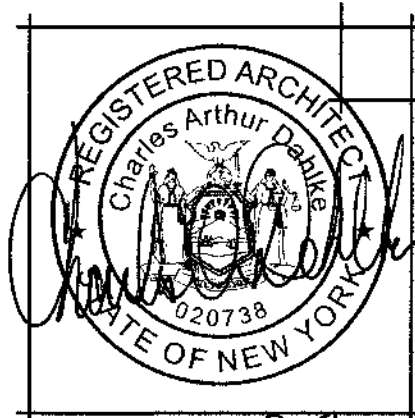
ROOM MATRIX

ROOM DESCRIPTION	AS SHOWN	MIRRORED	TOTAL
UNIT TYPE 'A'	2	2	4
UNIT TYPE 'B'	4	4	8
UNIT TYPE 'C'	1	1	2
UNIT TYPE 'D'	1	1	2
UNIT TYPE 'E'	1	1	2



NOTE:
ALL EXPOSED STUD & FRAMING CAVITIES SHALL BE FILLED WITH INSULATION AS SELECTED BY OWNER IN ACCORDANCE WITH ENERGY CODE COMPLIANCE REQUIREMENTS FOR ALTERATION OF EXISTING CONSTRUCTION

COMPLIANCE STATEMENT:
THE PROPOSED BUILDING HAS BEEN DESIGNED TO COMPLY WITH THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE. TO THE BEST OF MY KNOWLEDGE, BELIEF AND JUDGMENT THIS BUILDING DESIGN MEETS OR EXCEEDS SUCH REQUIREMENTS WHEN BUILT IN ACCORDANCE WITH THESE DOCUMENTS



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SHEET 3 OF 4

PROJECT LOCATION:
355 SOUTH MAIN STREET
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CONTENTS ON SHEET:
OVERALL FLOOR PLANS

CLIENT NAME:
REALTEGIC

PROJECT TITLE:
CLOVERHILL APARTMENT CONVERSION

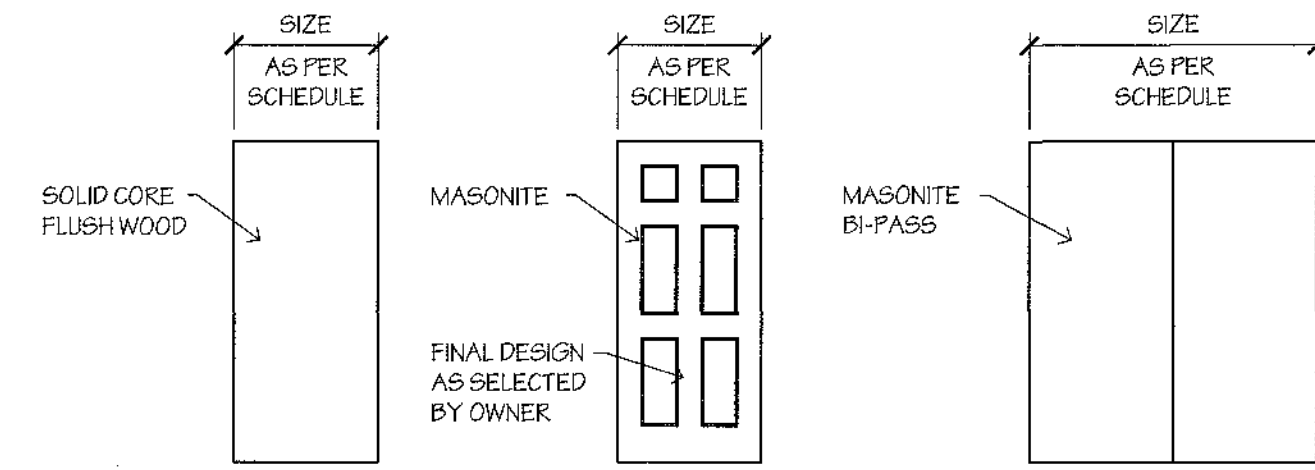
DRAWING NUMBER:
A-1

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design to build your life on

NOTE: IN A VARIATION OF THE LAW, ANY PERSON USING THESE DRAWINGS IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF LIFE BY DESIGN ARCHITECTURE, INC. IS IN VIOLATION OF THE ARCHITECTURE PROFESSIONAL ACT AND THE ARCHITECTURE PROFESSIONAL LAW OF THE STATE OF NEW YORK.

DOOR SCHEDULE								
UNIT 'A'	DOOR	TYPE	SIZE	MAT'L	FRAME	RATING	HARDWARE	REMARKS
UNIT 'A'	101	A	3'-0" x 6'-8"	S.C. WOOD	METAL	20 MIN	H-1	
	102	C	4'-0" x 6'-8"	MAS.	WOOD	-	H-4	
	103	B	3'-0" x 6'-8"	MAS.	WOOD	-	H-2	
	104	C	6'-0" x 6'-8"	MAS.	WOOD	-	H-4	
	105	B	2'-6" x 6'-8"	MAS.	WOOD	-	H-3	
UNIT 'B'	101	A	3'-0" x 6'-8"	S.C. WOOD	METAL	20 MIN	H-1	
	102	B	2'-6" x 6'-8"	MAS.	WOOD	-	H-3	
	103	B	3'-0" x 6'-8"	MAS.	WOOD	-	H-2	
	104	C	6'-0" x 6'-8"	MAS.	WOOD	-	H-4	
	105	B	2'-6" x 6'-8"	MAS.	WOOD	-	H-3	
UNIT 'C'	101	A	3'-0" x 6'-8"	S.C. WOOD	METAL	20 MIN	H-1	
	102	B	2'-6" x 6'-8"	MAS.	WOOD	-	H-3	
	103	C	6'-0" x 6'-8"	MAS.	WOOD	-	H-4	
	104	B	2'-6" x 6'-8"	MAS.	WOOD	-	H-3	
	105	B	2'-6" x 6'-8"	MAS.	WOOD	-	H-3	
UNIT 'D'	101	A	3'-0" x 6'-8"	S.C. WOOD	METAL	20 MIN	H-1	
	102	B	2'-6" x 6'-8"	MAS.	WOOD	-	H-3	
	103	C	6'-0" x 6'-8"	MAS.	WOOD	-	H-4	
	104	B	2'-6" x 6'-8"	MAS.	WOOD	-	H-3	
	105	B	2'-6" x 6'-8"	MAS.	WOOD	-	H-3	
UNIT 'E'	101	A	3'-0" x 6'-8"	S.C. WOOD	METAL	20 MIN	H-1	
	102	B	2'-6" x 6'-8"	MAS.	WOOD	-	H-3	
	103	C	6'-0" x 6'-8"	MAS.	WOOD	-	H-4	
	104	B	2'-6" x 6'-8"	MAS.	WOOD	-	H-3	
	105	B	2'-6" x 6'-8"	MAS.	WOOD	-	H-3	



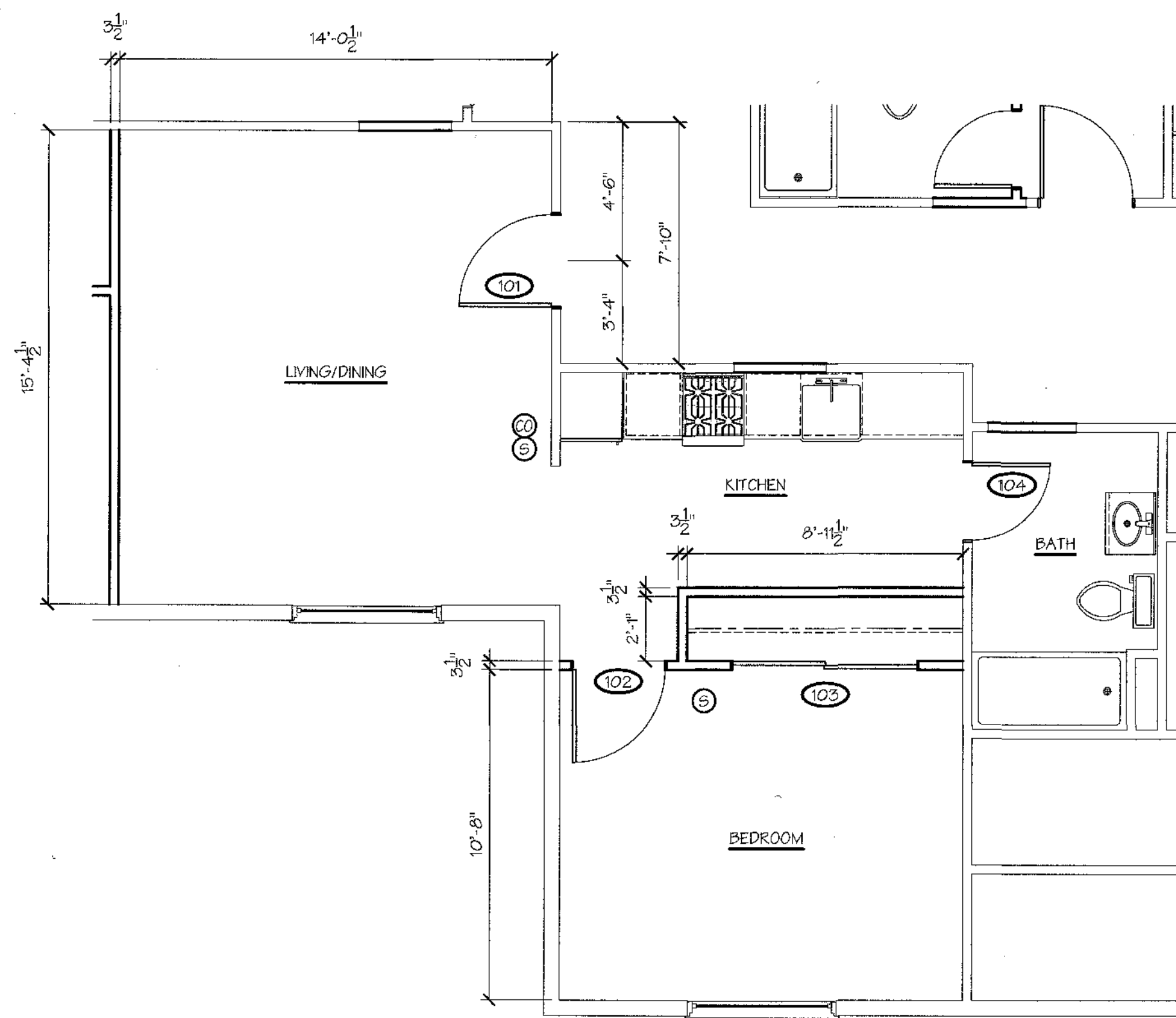
DOOR TYPES
SCALE: 1/4" = 1'-0"

HW-1	HW-2	HW-3	HW-4
PAIR HINGES	PAIR HINGES	PAIR HINGES	BI-PASS TRACK & HARDWARE
SILENCERS	PASSAGE SET	PRIVACY LOCKSET	
ENTRANCE LOCKSET w/DEADBOLT			

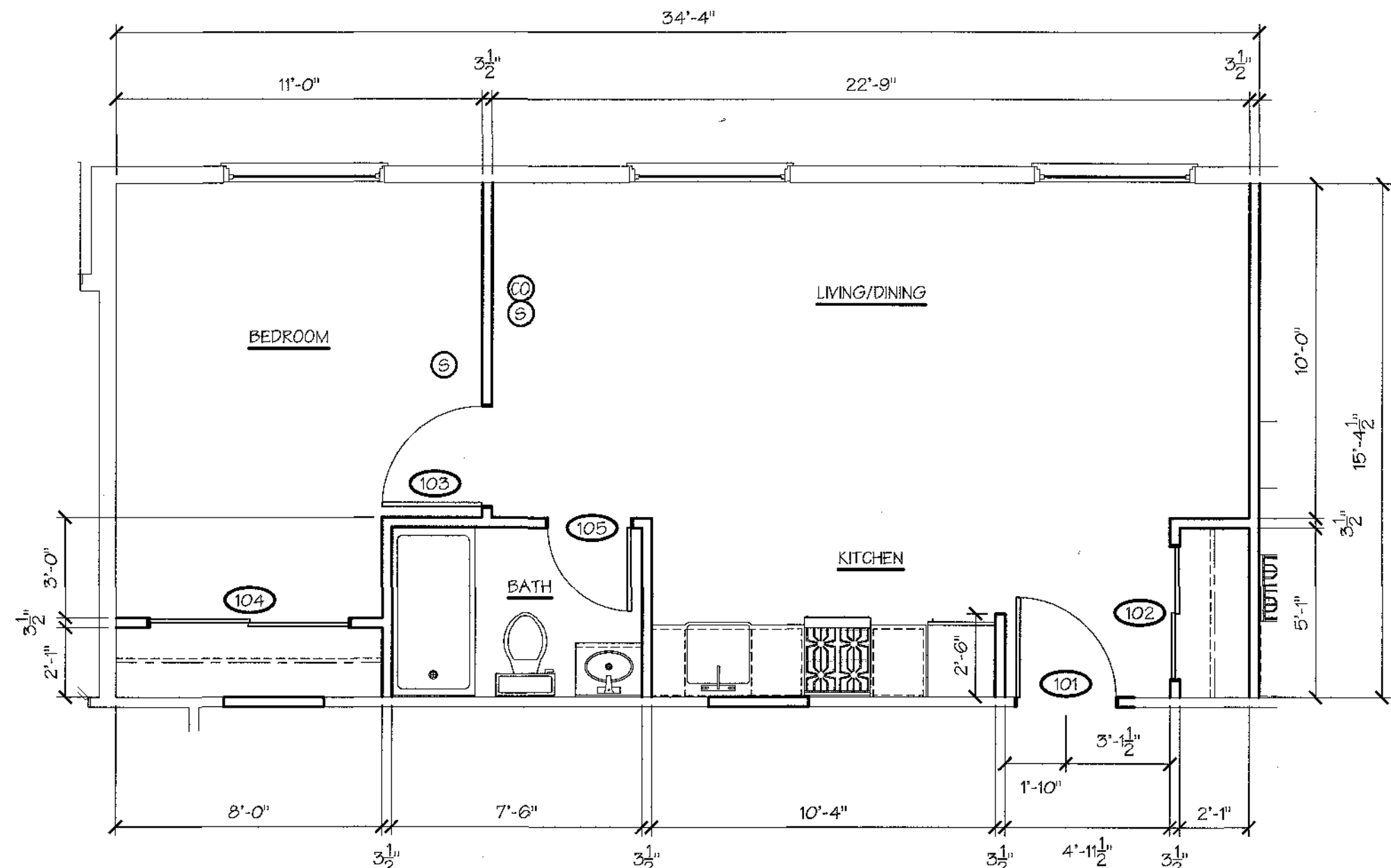
HARDWARE GROUPINGS
SCALE: N.T.S.

WALL LEGEND	
	EXISTING WALL CONSTRUCTION TO REMAIN
	EXISTING WALL CONSTRUCTION TO BE REMOVED
	NEW WALL CONSTRUCTION, REFER TO WALL TYPES FOR DETAILS

- NOTE:**
- ALL WINDOWS AS SHOWN ARE EXISTING TO REMAIN
 - CARBON MONOXIDE DETECTOR IN ACCORDANCE WITH UL 2034. LOCATE AS SHOWN AND IN ACCORDANCE WITH PART 122B OF TITLE 19 NYCRR
 - SMOKE DETECTOR W/ BATTERY BACKUP, HARD WIRE TO ELECTRICAL SYSTEM & INTERCONNECT EACH DETECTOR



UNIT TYPE 'C'
SCALE: 1/4" = 1'-0"

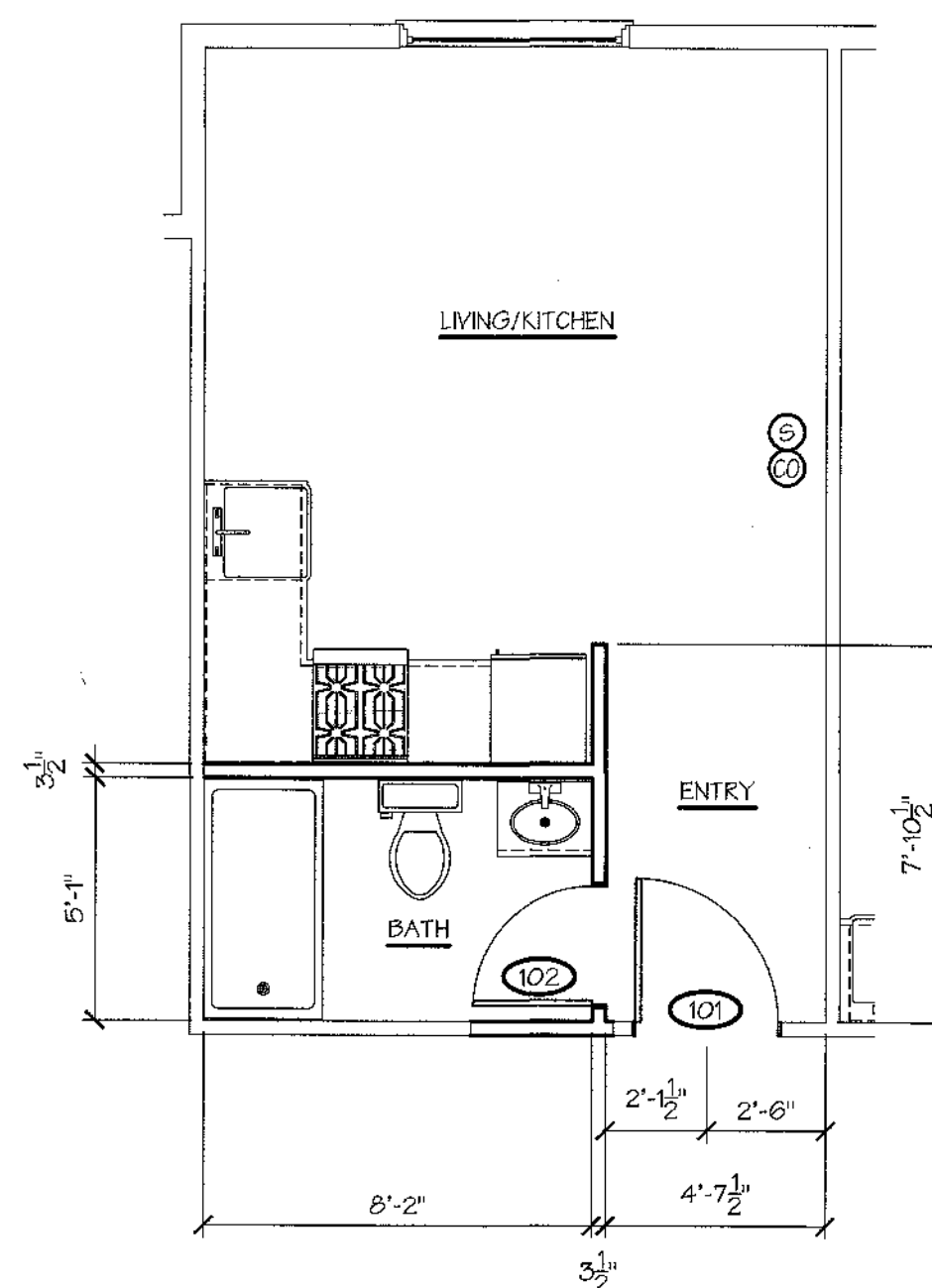


UNIT TYPE 'A'
SCALE: 1/4" = 1'-0"

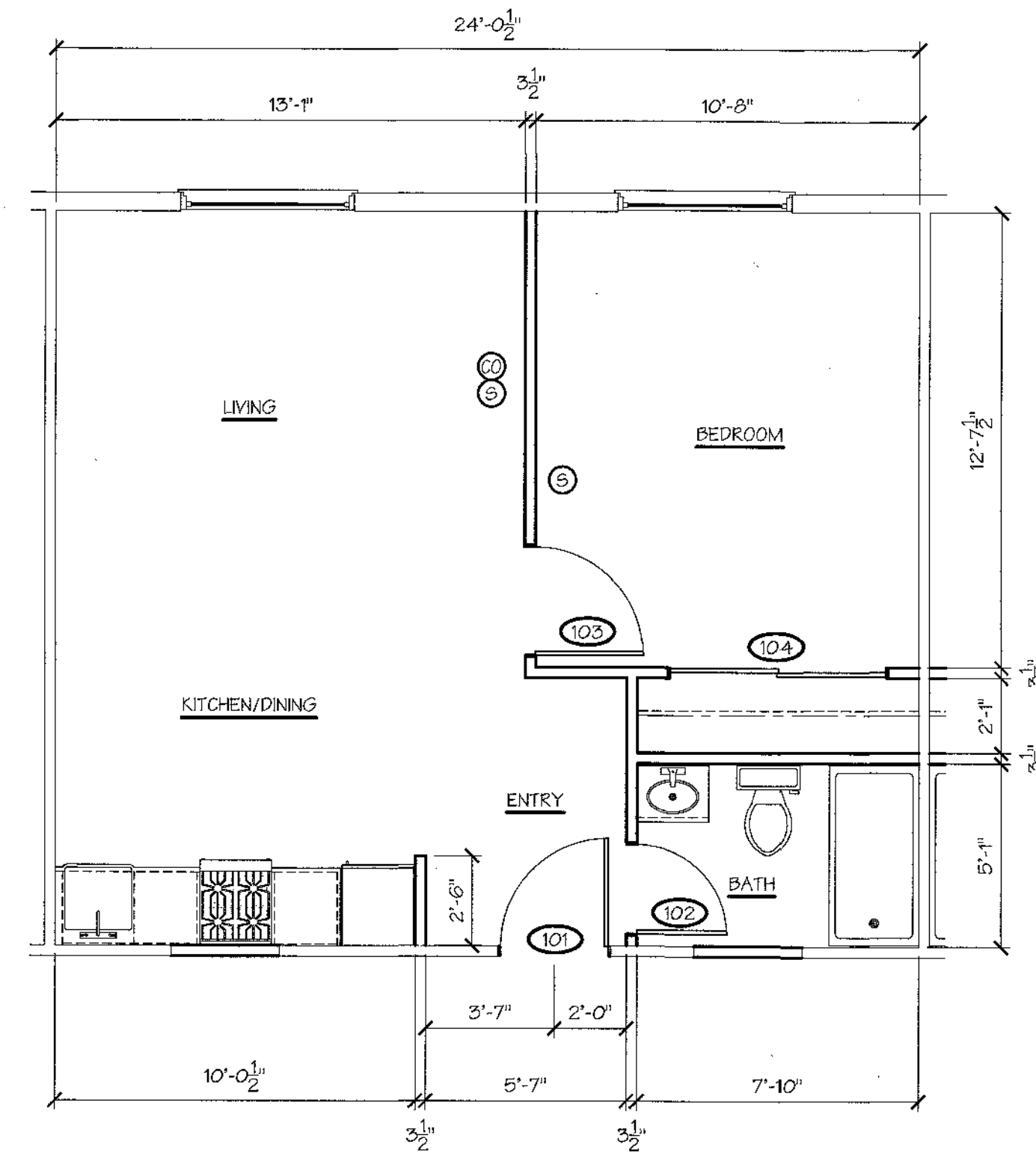
- ALL INTERIOR FINISHES AS SELECTED BY OWNER
- FLOOR FINISH: CLASS II MINIMUM CRITICAL RADIANT FLUX AS PER DOC FF-1 "PILL TEST"
 - WALLS: CLASS C FINISHES
 - CEILING: CLASS C FINISHES

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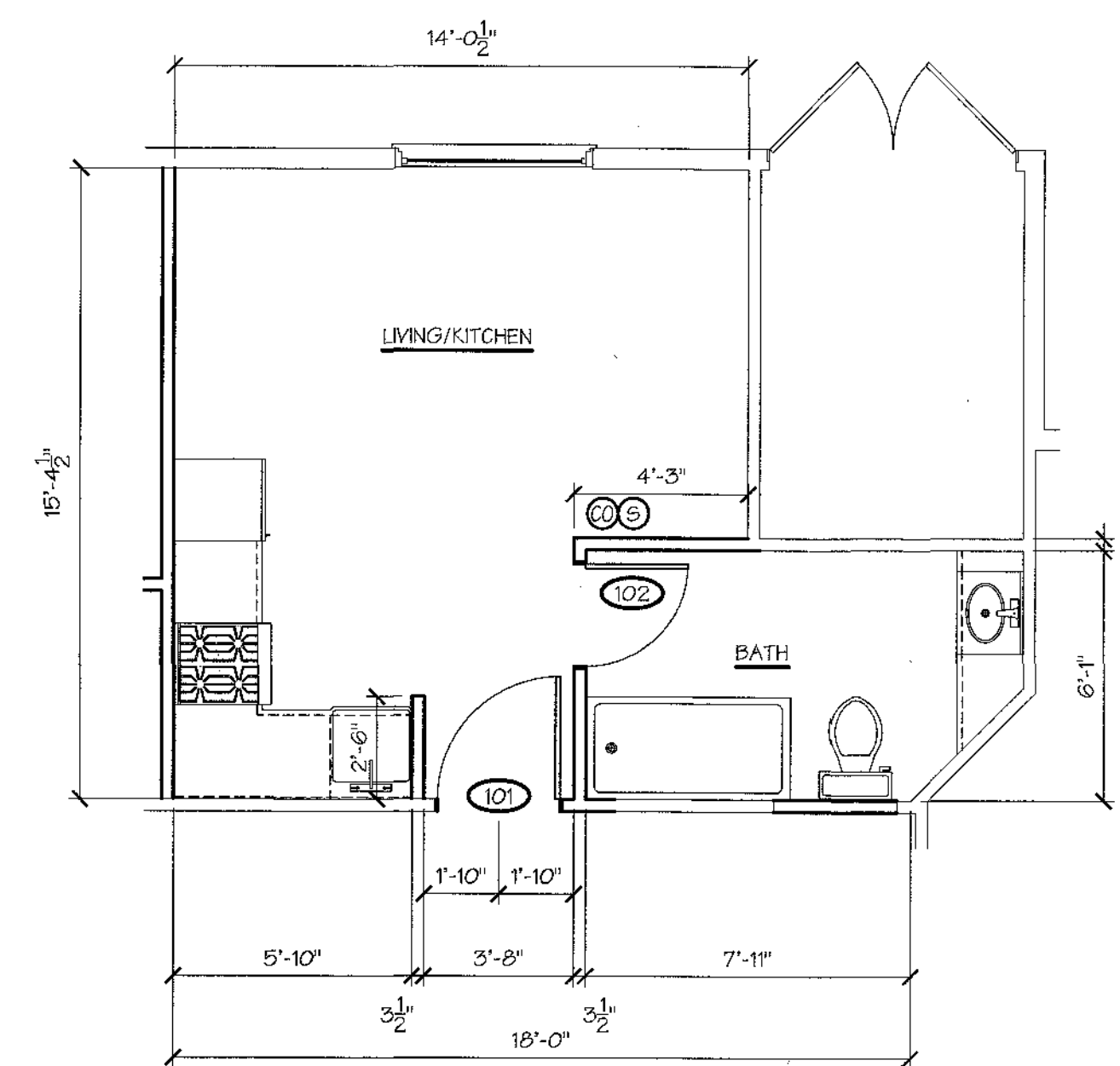
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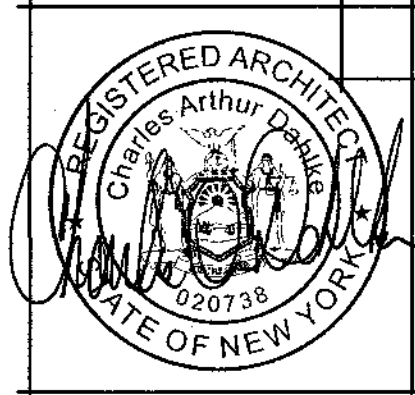
UNIT TYPE 'D'
SCALE: 1/4" = 1'-0"



UNIT TYPE 'B'
SCALE: 1/4" = 1'-0"



UNIT TYPE 'E'
SCALE: 1/4" = 1'-0"



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TYPICAL APARTMENT PLANS
& SCHEDULES

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DRAWING NUMBER:
A-2

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